

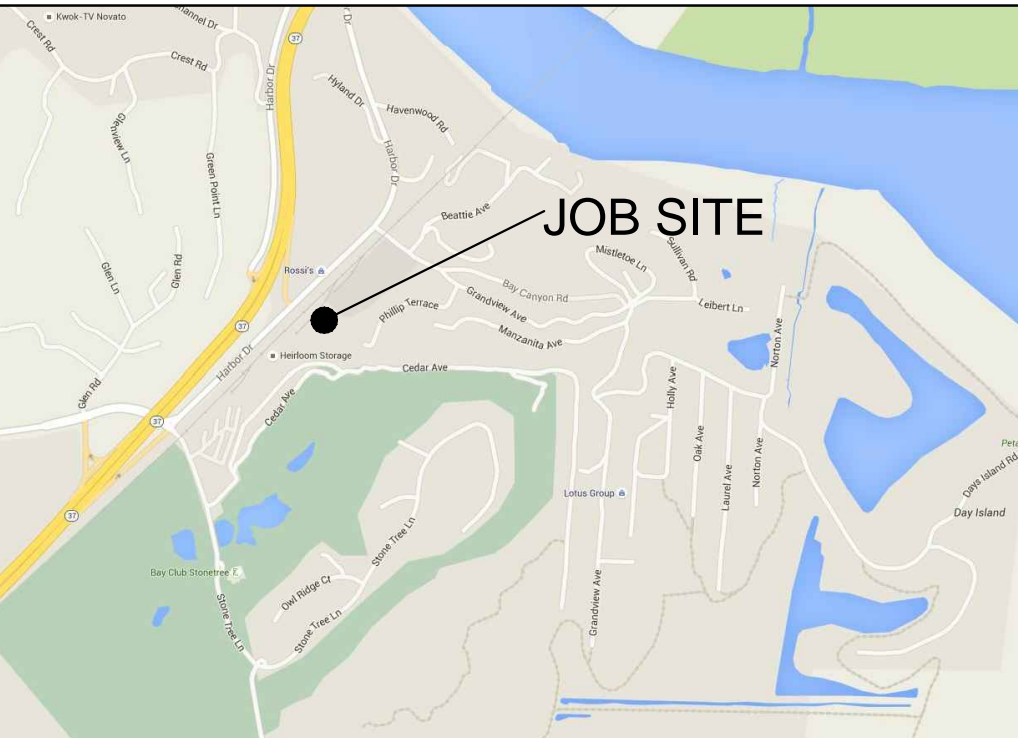

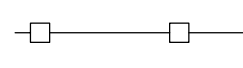

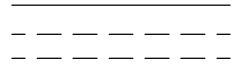

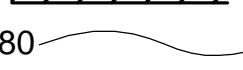
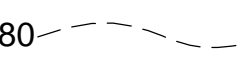









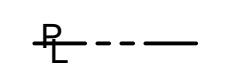
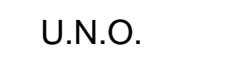


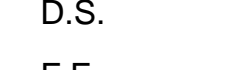

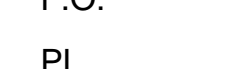

# DOE RESIDENCE ADDITION

101 MAIN STREET, NOVATO, CA 94949

ASSESSOR'S PARCEL NUMBER - 123-456-78

## CONDITIONS OF APPROVAL

ARCHITECT OF RECORD  
123 CENTRAL AVE.  
SAN RAFAEL, CA 94901  
(415) 123-4567

| SHEET INDEX  | PROJECT PRINCIPALS  | VICINITY MAP  |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |
|--|---|---|--|--|-----------------------------|------------------|------------------------|------------------|------------------------|------------------|------------------|--------------------|--------------------|--------------------|
| <p>A1.0 COVER SHEET, PROJECT DATA, INDEX, NOTES, LEGEND, VICINITY MAP, CONDITIONS OF APPROVAL</p> <p>A1.1 EXISTING OVERALL SITE PLAN</p> <p>A1.2 PROPOSED OVERALL SITE PLAN</p> <p>A1.3 PROPOSED FOCUSED SITE PLAN WITH ROOF PLAN, BUILDING CORNER &amp; RIDGE HEIGHT ELEVATIONS</p> <p>EC1 EXISTING FLOOR PLAN</p> <p>EC2 EXISTING ELEVATIONS</p> <p>A2.1 PROPOSED MAIN LEVEL FLOOR PLAN</p> <p>A2.2 PROPOSED UPPER LEVEL FLOOR PLAN</p> <p>A3.1 PROPOSED ELEVATIONS, MATERIALS &amp; COLORS, NOTES</p> <p>A3.2 PROPOSED ELEVATIONS, BLDG. SECTION, NOTES</p>   | <p><b>OWNER</b></p> <p>JOHN AND JANE DOE<br/>101 MAIN STREET<br/>NOVATO, CA 94949</p> <p><b>ARCHITECT</b></p> <p>ARCHITECT<br/>123 CENTRAL AVE.<br/>SAN RAFAEL, CA 94901<br/>(415) 123-4567<br/>ATTN: ARCHITECT</p>   |  <p><b>DIRECTIONS:</b><br/>TAKE MAIN ST. EXIT FROM HWY 37, CONTINUE ON MAIN STREET (0.3 MILES), DESTINATION WILL BE ON THE RIGHT</p> |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |
| GENERAL NOTES  | PROJECT DATA  |   |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |
| <ol style="list-style-type: none"> <li>ALL CONSTRUCTION TO CONFORM TO THESE PLANS, AND THE REQUIREMENTS OF THE CALIFORNIA RESIDENTIAL CODE AND CALIFORNIA BUILDING CODE LATEST EDITION AS ADOPTED BY THE COUNTY OF MARIN, AND ALL OTHER APPLICABLE CODES AND REGULATIONS AND OTHER APPLICABLE SECTIONS OF THE LOCAL MUNICIPAL CODE.</li> <li>ALL MATERIALS AND WORKMANSHIP TO MEET OR EXCEED THE BEST STANDARDS OF THE TRADE.</li> <li>ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.</li> <li>NOTED DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.</li> <li>PROTECTION OF OWNER'S PROPERTY AND ALL ADJACENT PROPERTIES AS WELL AS THE GENERAL PUBLIC ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MAINTAINED AT ALL TIMES.</li> <li>ALL PAINTS, FINISHES, AND ADHESIVES, CAULKING, AND SEALANTS SHALL BE LOW, VOC.</li> <li>PROVIDE FREQUENT AND THOROUGH DUST CONTROL AND CLEAN UP.</li> </ol>   | <p><b>PROJECT DESCRIPTION:</b><br/>ADDITION AND REMODEL TO EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE. PROJECT CONSISTS OF TWO ADDITIONS AT MAIN LEVEL WITH NEW ENTRY PORCH, AND UPPER STORY ADDITION</p> <p><b>ASSESSOR'S PARCEL NUMBER:</b> 123-456-78<br/><b>ZONING:</b> RSP-0.5<br/><b>OCCUPANCY CLASSIFICATION:</b> R-3<br/><b>DESCRIPTION OF USE:</b> SINGLE FAMILY RESIDENCE<br/><b>CONSTRUCTION TYPE:</b> V-B<br/><b>STORIES:</b> ONE<br/><b>SPRINKLERS:</b> YES</p> <p><b>LOT AREA:</b> 58,964 S.F. / 1.35 ACRES</p> <p><b>EXISTING BUILDING AREA:</b> 3,014 SQ. FT.<br/><b>PROPOSED BUILDING AREA:</b> 4,193 SQ. FT.</p> <p><b>EXISTING FLOOR AREA:</b> 2,474 SQ. FT.<br/><b>PROPOSED FLOOR AREA:</b> 3,653 SQ. FT.</p> <p><b>EXISTING FLOOR AREA RATIO:</b> 4.2%<br/><b>PROPOSED FLOOR AREA RATIO:</b> 6.2%</p> <p><b>PROPOSED MAIN LEVEL SQ. FT. (ADDITION +183 S.F., BATHROOM REDUCTION OF 14 S.F.):</b> 2,643 SQ. FT.<br/><b>PROPOSED UPPER LEVEL SQ. FT.:</b> 1,010 SQ. FT.<br/><b>GARAGE SQ. FT. (NO CHANGE):</b> 540 SQ. FT.<br/><b>PROPOSED COVERED PORCHES &amp; PATIOS SQ. FT.:</b> 256 SQ. FT.</p> <p><b>EXISTING LOT COVERAGE:</b> 3,270 SQ. FT.<br/><b>PROPOSED LOT COVERAGE:</b> 3,439 SQ. FT.</p> <p><b>GRADING CALCULATIONS:</b> N/A, SEE NOTE ON SHEET A1.2</p> <p><b>ON-SITE PARKING:</b> 4 TOTAL SPACES - NO CHANGE (2 CAR GARAGE + 2 ADD'L SPACES)</p> <table border="0"> <tr> <td><b>MINIMUM SET BACKS FOR EXTERIOR WALLS:</b></td> <td><b>PROPOSED SETBACKS FOR EXTERIOR WALLS:</b></td> </tr> <tr> <td>WESTERN FRONT SIDE 30' MIN.</td> <td>PROPOSED: 36'-5"</td> </tr> <tr> <td>SOUTHERN SIDE 30' MIN.</td> <td>PROPOSED: 55'-4"</td> </tr> <tr> <td>NORTHERN SIDE 30' MIN.</td> <td>PROPOSED: 36'-0"</td> </tr> <tr> <td>EASTERN REAR N/A</td> <td>PROPOSED: 143'-11"</td> </tr> <tr> <td>EASTERN CREEK 100'</td> <td>PROPOSED: 143'-11"</td> </tr> </table> <p><b>MAXIMUM HEIGHT FOR MAIN BUILDING:</b> 30' MAX.      <b>PROPOSED:</b> 23.53'</p> |   | <b>MINIMUM SET BACKS FOR EXTERIOR WALLS:</b> | <b>PROPOSED SETBACKS FOR EXTERIOR WALLS:</b> | WESTERN FRONT SIDE 30' MIN. | PROPOSED: 36'-5" | SOUTHERN SIDE 30' MIN. | PROPOSED: 55'-4" | NORTHERN SIDE 30' MIN. | PROPOSED: 36'-0" | EASTERN REAR N/A | PROPOSED: 143'-11" | EASTERN CREEK 100' | PROPOSED: 143'-11" |
| <b>MINIMUM SET BACKS FOR EXTERIOR WALLS:</b>   | <b>PROPOSED SETBACKS FOR EXTERIOR WALLS:</b>  |   |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |
| WESTERN FRONT SIDE 30' MIN.  | PROPOSED: 36'-5"  |   |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |
| SOUTHERN SIDE 30' MIN.   | PROPOSED: 55'-4"  |   |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |
| NORTHERN SIDE 30' MIN.   | PROPOSED: 36'-0"  |   |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |
| EASTERN REAR N/A   | PROPOSED: 143'-11"  |   |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |
| EASTERN CREEK 100'   | PROPOSED: 143'-11"  |   |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |
| LEGEND   |   |   |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |
| <p> AREA OF NEW CONSTRUCTION, SHADED</p> <p> FENCE LINE</p> <p> (N) WALL, 2x4 @ 16" O.C. U.N.O.</p> <p> (E) WALL TO REMAIN</p> <p> (E) WALL TO BE REMOVED</p> <p> (E) AREA TO BE REMOVED</p> <p> EXISTING CONTOURS</p> <p> INTERPOLATION OF EXISTING CONTOURS UNDER STRUCTURES</p> <p> DETAIL NO. SHEET NO.</p> <p> SECTION or ELEV. NO. SHEET NO.</p> <p> KEY NOTE</p> <p> ALIGN</p> <p> SQUARE FOOTAGE</p> <p> EXISTING</p> <p> NEW</p> <p> PROPERTY LINE</p> <p> UNLESS NOTED OTHERWISE</p> <p> VERIFY IN FIELD</p> <p> CENTER LINE</p> <p> DOWNSPOUT</p> <p> FINISH FLOOR</p> <p> FACE OF</p> <p> PLATE</p> <p> TREE TO BE REMOVED</p> |   |   |  |  |                             |                  |                        |                  |                        |                  |                  |                    |                    |                    |

DOE RESIDENCE ADDITION  
101 MAIN STREET  
NOVATO, CA 94949  
APN: 123-456-78

DRAWN BY SC  
CHECKED BY ABC  
PROJECT NO 4321

DATE ISSUE

COVER, PROJECT DATA  
INDEX, NOTES, LEGEND  
VICINITY MAP  
CONDITIONS OF  
APPROVAL

COVER

A1.0

DRAWN BY SC  
 CHECKED BY ABC  
 PROJECT NO 4321  
 DATE ISSUE

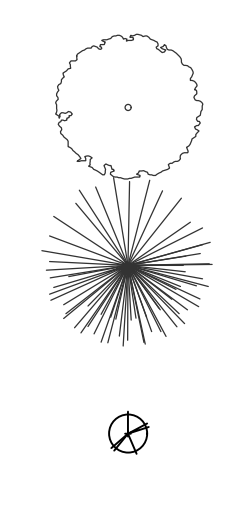
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OVERALL EXISTING SITE PLAN

1" = 20'-0"

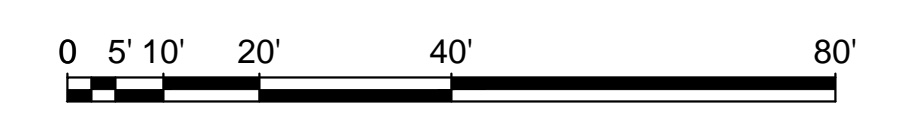
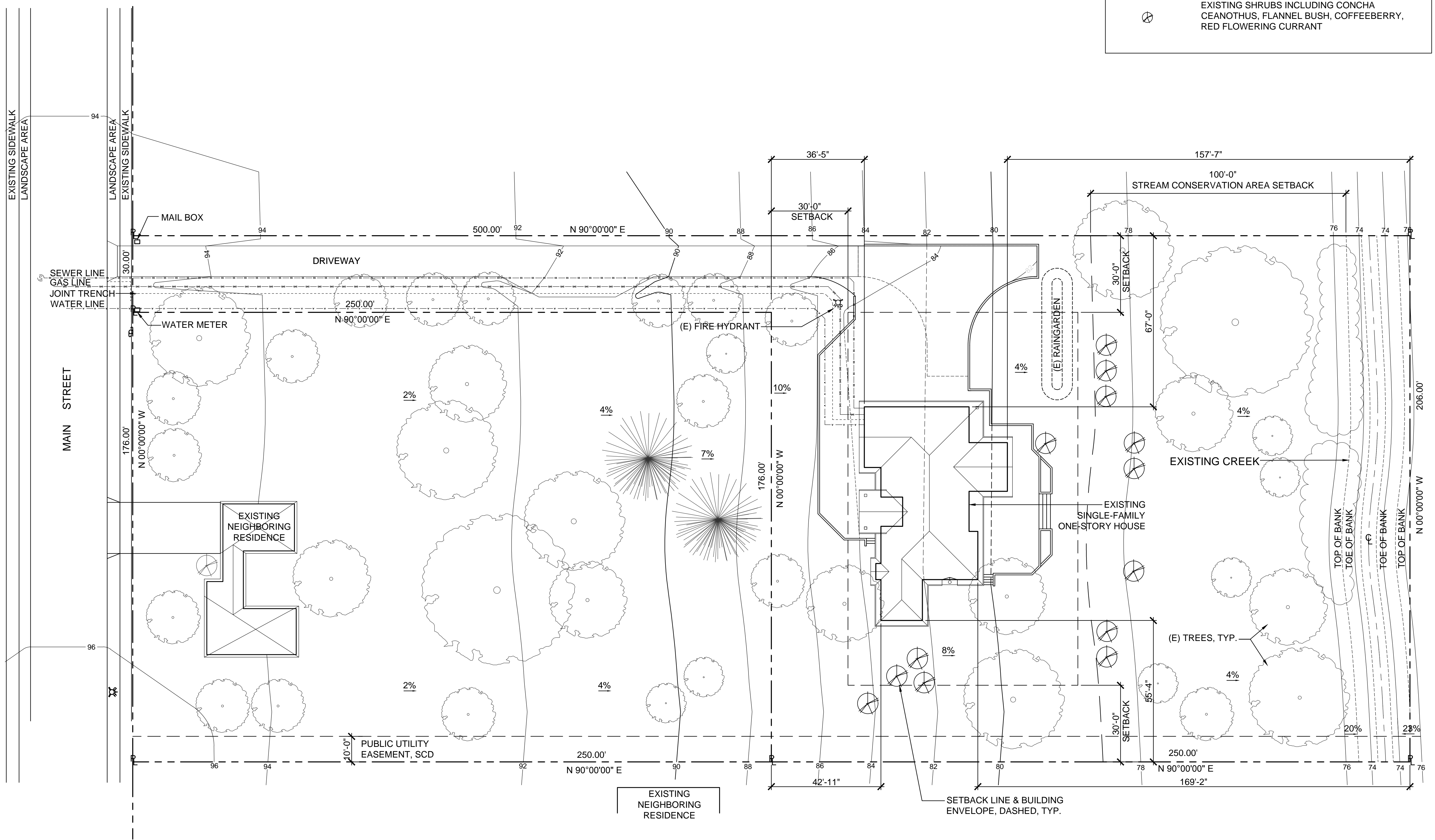
OVERALL EXISTING SITE PLAN

**LANDSCAPE LEGEND**



EXISTING TREES INCLUDING CALIFORNIA BUCKEYE, BIG LEAF MAPLE, COAST LIVE OAK

EXISTING SHRUBS INCLUDING CONCHA CEANOTHUS, FLANNEL BUSH, COFFEEBERRY, RED FLOWERING CURRANT



MAIN STREET

EXISTING SIDEWALK  
LANDSCAPE AREA

LANDSCAPE AREA  
EXISTING SIDEWALK

MAIL BOX

DRIVEWAY

WATER METER

(E) FIRE HYDRANT

(E) RAINGARDEN

EXISTING NEIGHBORING RESIDENCE

EXISTING SINGLE-FAMILY ONE-STORY HOUSE

EXISTING CREEK

TOP OF BANK  
TOE OF BANK

(E) TREES, TYP.

10'-0" PUBLIC UTILITY EASEMENT, SCD

EXISTING NEIGHBORING RESIDENCE

SETBACK LINE & BUILDING ENVELOPE, DASHED, TYP.

SEWER LINE  
GAS LINE  
JOINT TRENCH  
WATER LINE

# DOE RESIDENCE ADDITION

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NOVATO, CA 94949  
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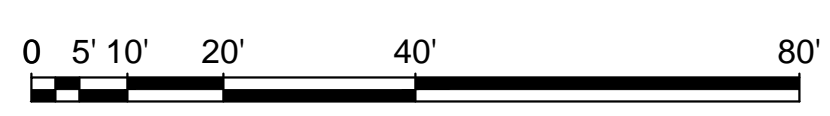
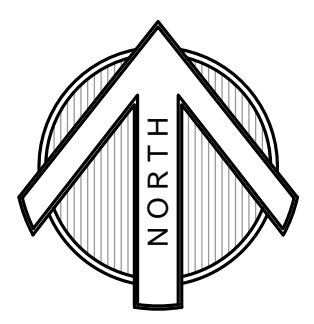
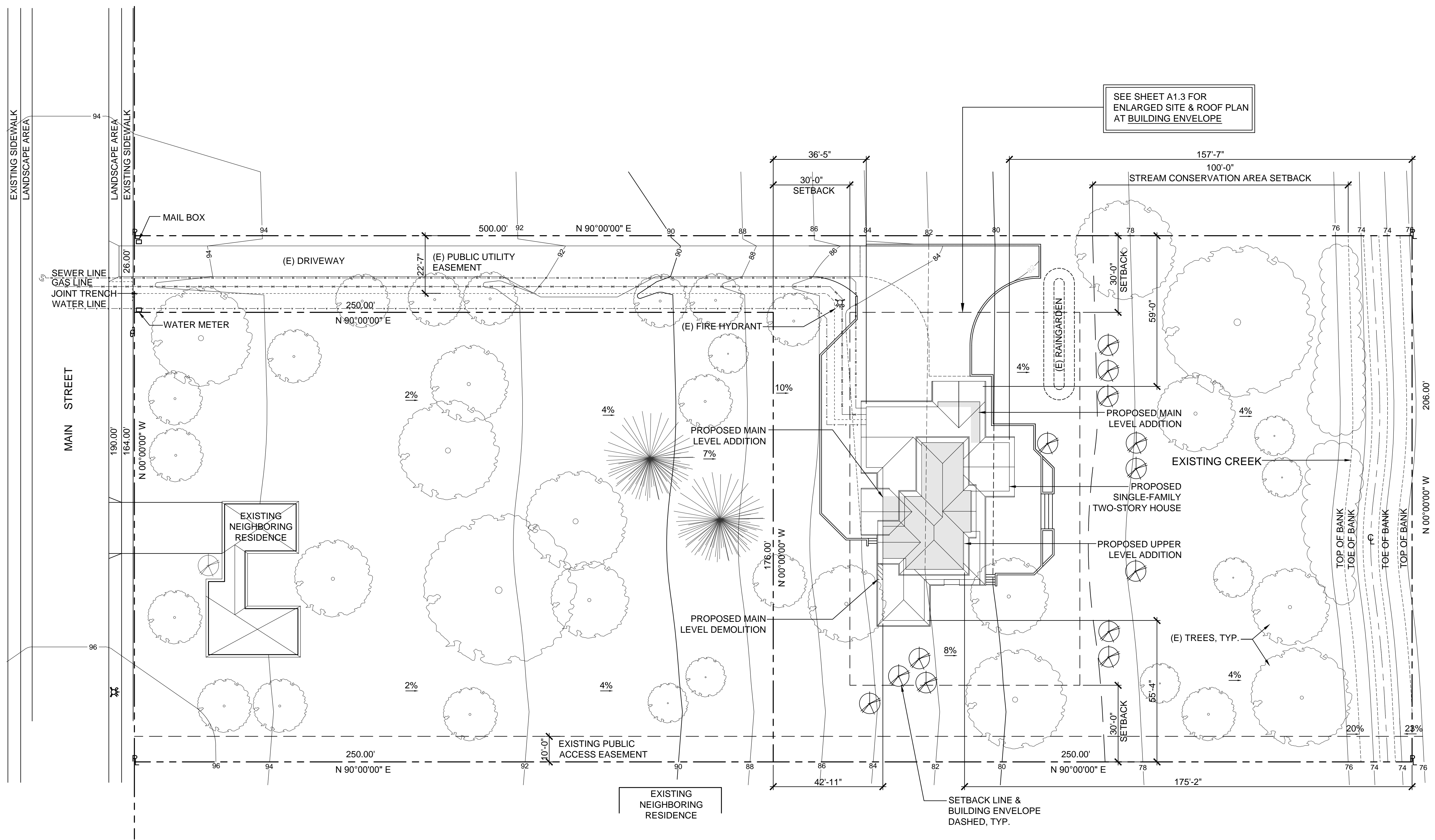
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OVERALL PROPOSED SITE PLAN

1" = 20'-0"

OVERALL PROPOSED SITE PLAN

# A1.2



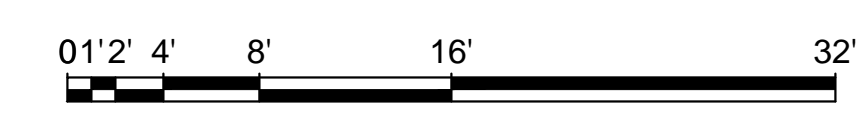
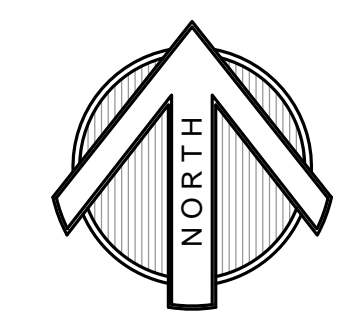
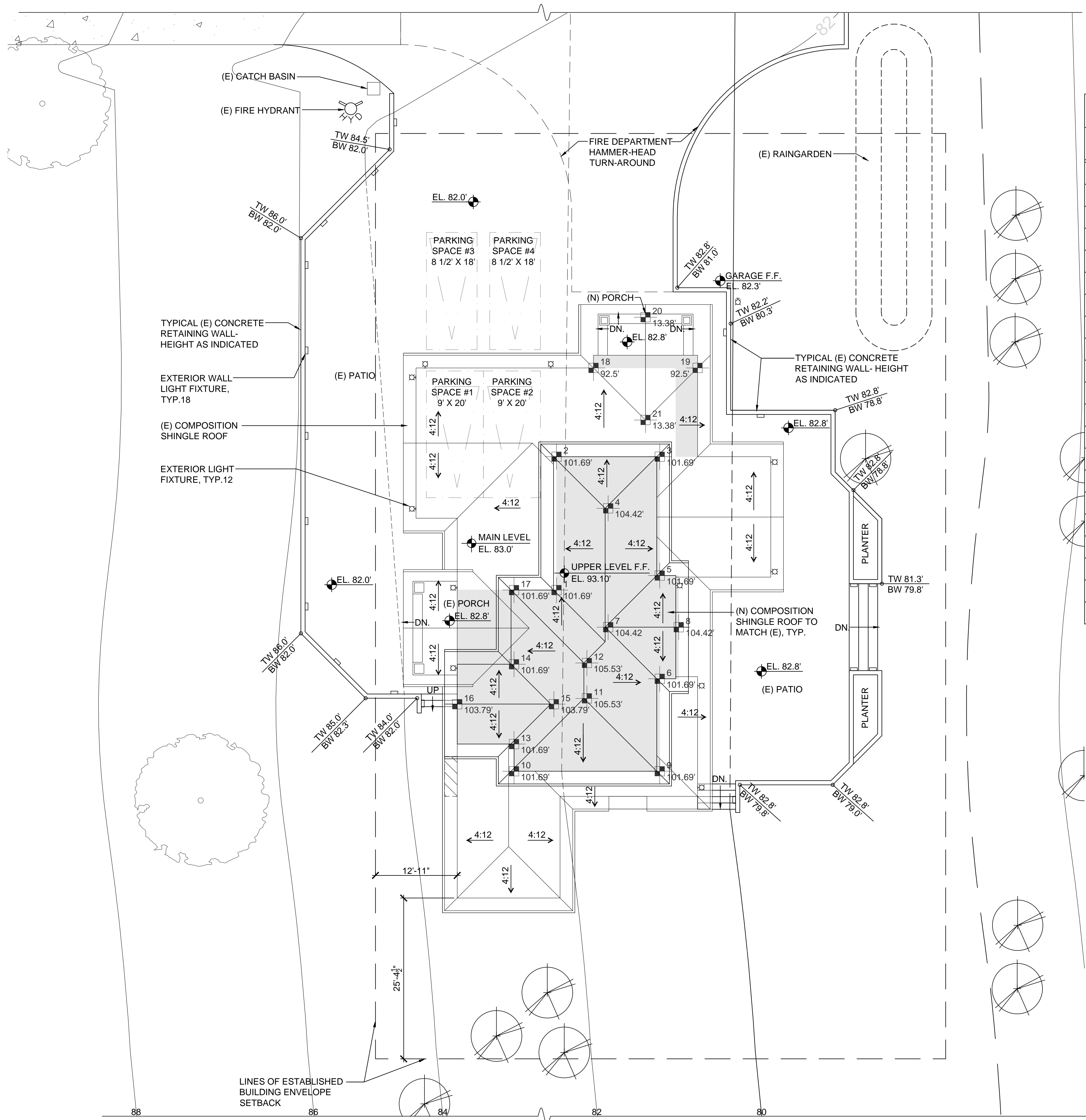
| BLDG. CORNER & RIDGE HEIGHTS |                            |                                 | ELEVATION MARKER                 |
|------------------------------|----------------------------|---------------------------------|----------------------------------|
| MARK #                       | BASE ELEV @ EXISTING GRADE | TOP OF BUILDING CORNER OR RIDGE | HEIGHT ABOVE REFERENCE BASE ELEV |
| #1                           | ELEVATION - 82.0'          | 101.69'                         | 19.69'                           |
| #2                           | ELEVATION - 82.0'          | 101.69'                         | 19.69'                           |
| #3                           | ELEVATION - 82.0'          | 101.69'                         | 19.69'                           |
| #4                           | ELEVATION - 82.0'          | 104.42'                         | 22.42'                           |
| #5                           | ELEVATION - 82.0'          | 101.69'                         | 19.69'                           |
| #6                           | ELEVATION - 82.0'          | 101.69'                         | 19.69'                           |
| #7                           | ELEVATION - 82.0'          | 104.42'                         | 22.42'                           |
| #8                           | ELEVATION - 82.0'          | 104.42'                         | 22.42'                           |
| #9                           | ELEVATION - 82.0'          | 101.69'                         | 19.69'                           |
| #10                          | ELEVATION - 82.0'          | 101.69'                         | 19.69'                           |
| #11                          | ELEVATION - 82.0'          | 105.53'                         | 23.53'                           |
| #12                          | ELEVATION - 82.0'          | 105.53'                         | 23.53'                           |
| #13                          | ELEVATION - 82.0'          | 101.69'                         | 19.69'                           |
| #14                          | ELEVATION - 82.0'          | 101.69'                         | 19.69'                           |
| #15                          | ELEVATION - 82.0'          | 103.79'                         | 21.79'                           |
| #16                          | ELEVATION - 82.0'          | 103.79'                         | 21.79'                           |
| #17                          | ELEVATION - 82.0'          | 101.69'                         | 19.69'                           |
| #18                          | ELEVATION - 82.0'          | 92.5'                           | 10.5'                            |
| #19                          | ELEVATION - 82.0'          | 92.5'                           | 10.5'                            |
| #20                          | ELEVATION - 82.0'          | 95.38'                          | 13.38'                           |
| #21                          | ELEVATION - 82.0'          | 95.38'                          | 13.38'                           |

**DOE RESIDENCE ADDITION**  
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 NOVATO, CA 94949  
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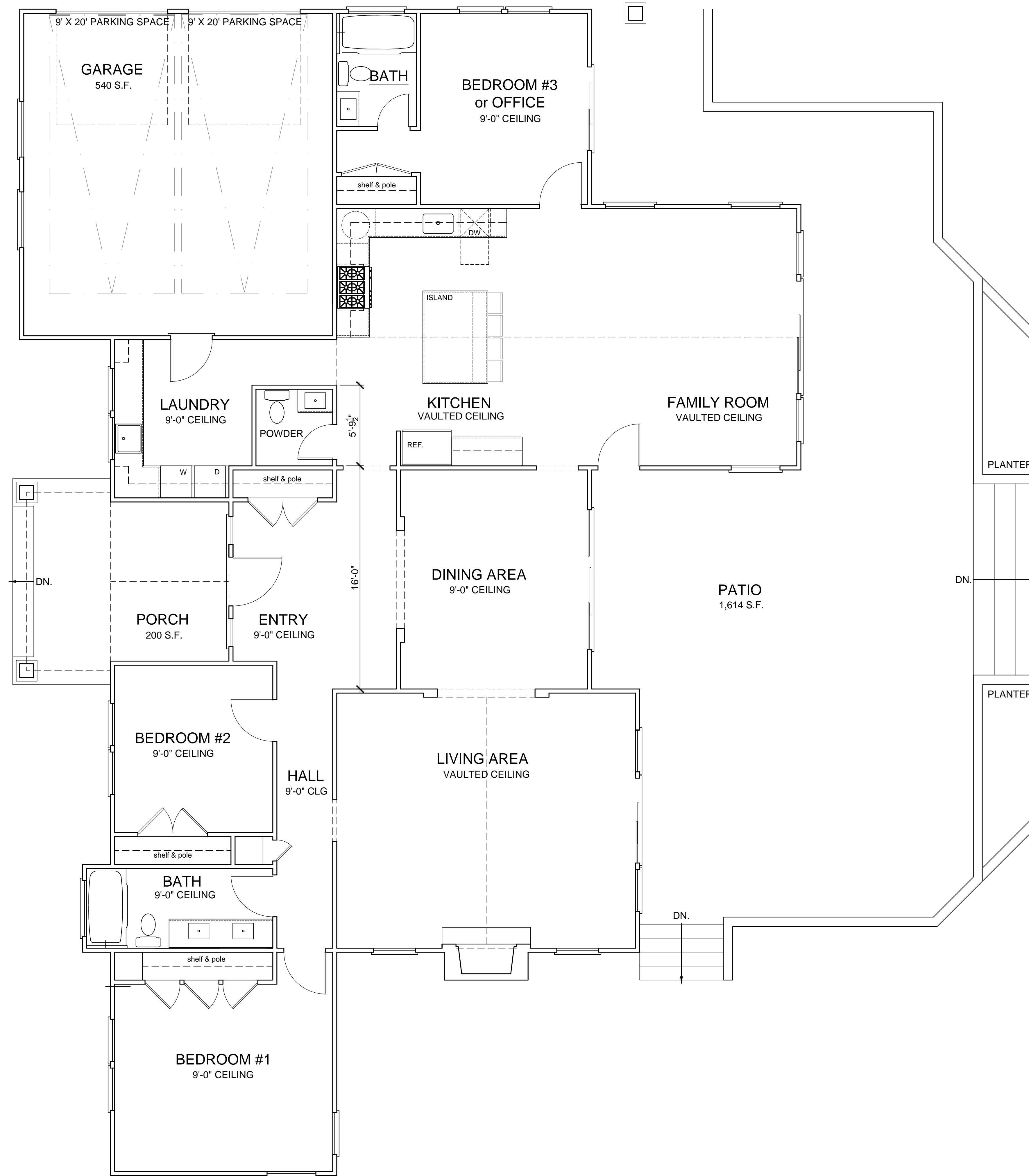
PROPOSED  
 FOCUSED SITE PLAN  
 WITH ROOF PLAN,  
 BLDG. CORNERS  
 & RIDGE HEIGHTS

1/8" = 1'-0"  
 PROPOSED FOCUSED  
 SITE PLAN

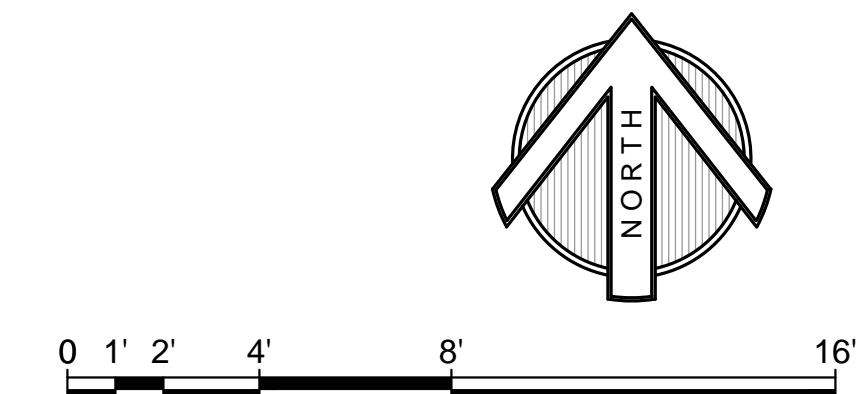


**DOE RESIDENCE ADDITION**  
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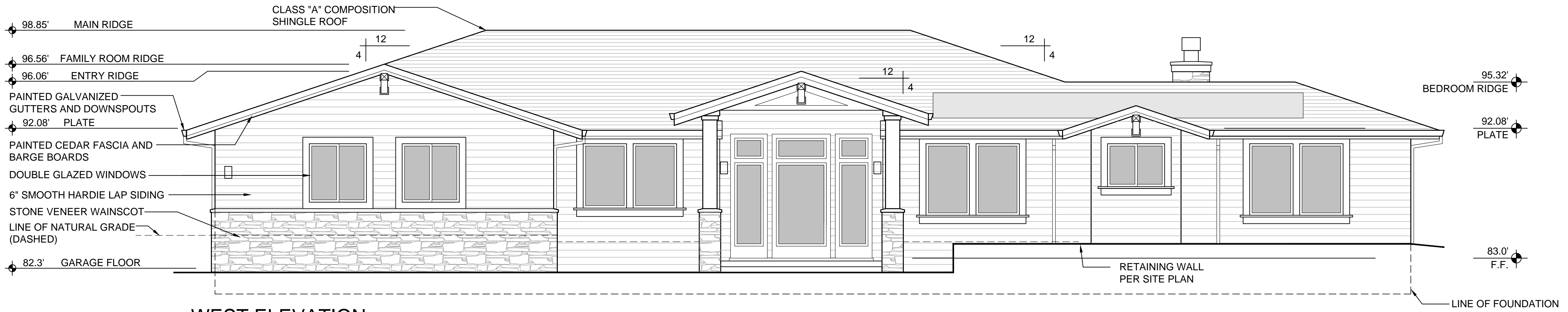
**FLOOR AREA**  
 2,474 S.F.



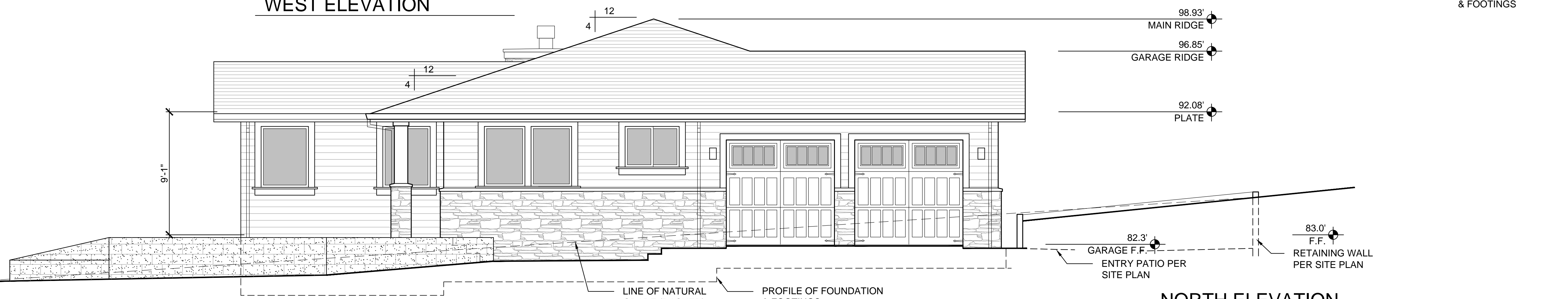
EXISTING  
 FLOOR PLAN

EXISTING  
 FLOOR PLAN

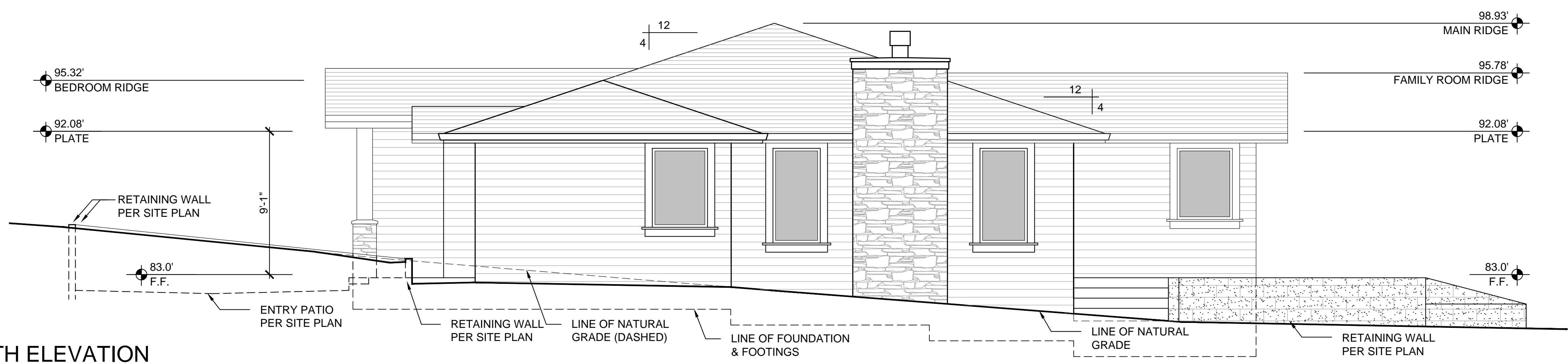
1/4" = 1'-0"



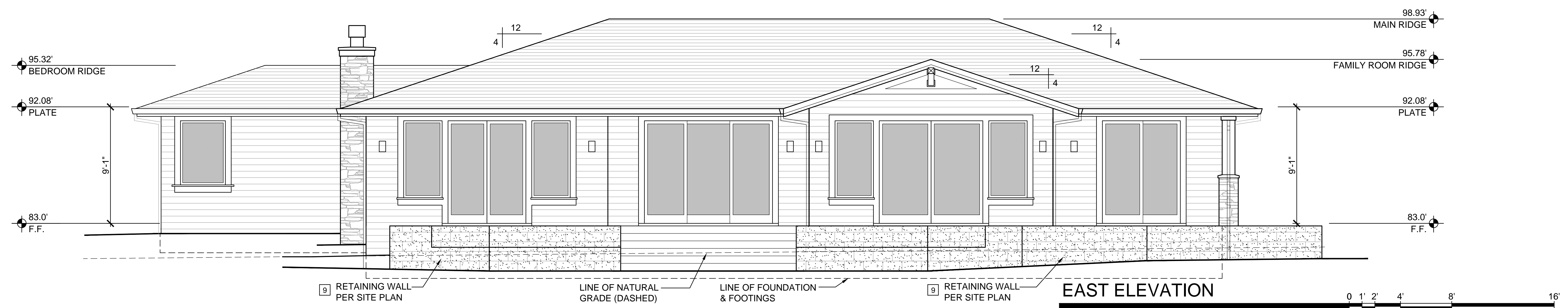
**WEST ELEVATION**



**NORTH ELEVATION**



**SOUTH ELEVATION**



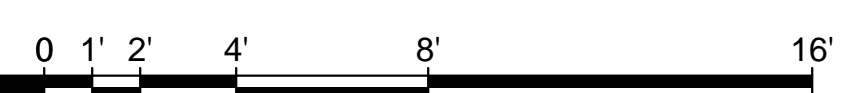
**EAST ELEVATION**

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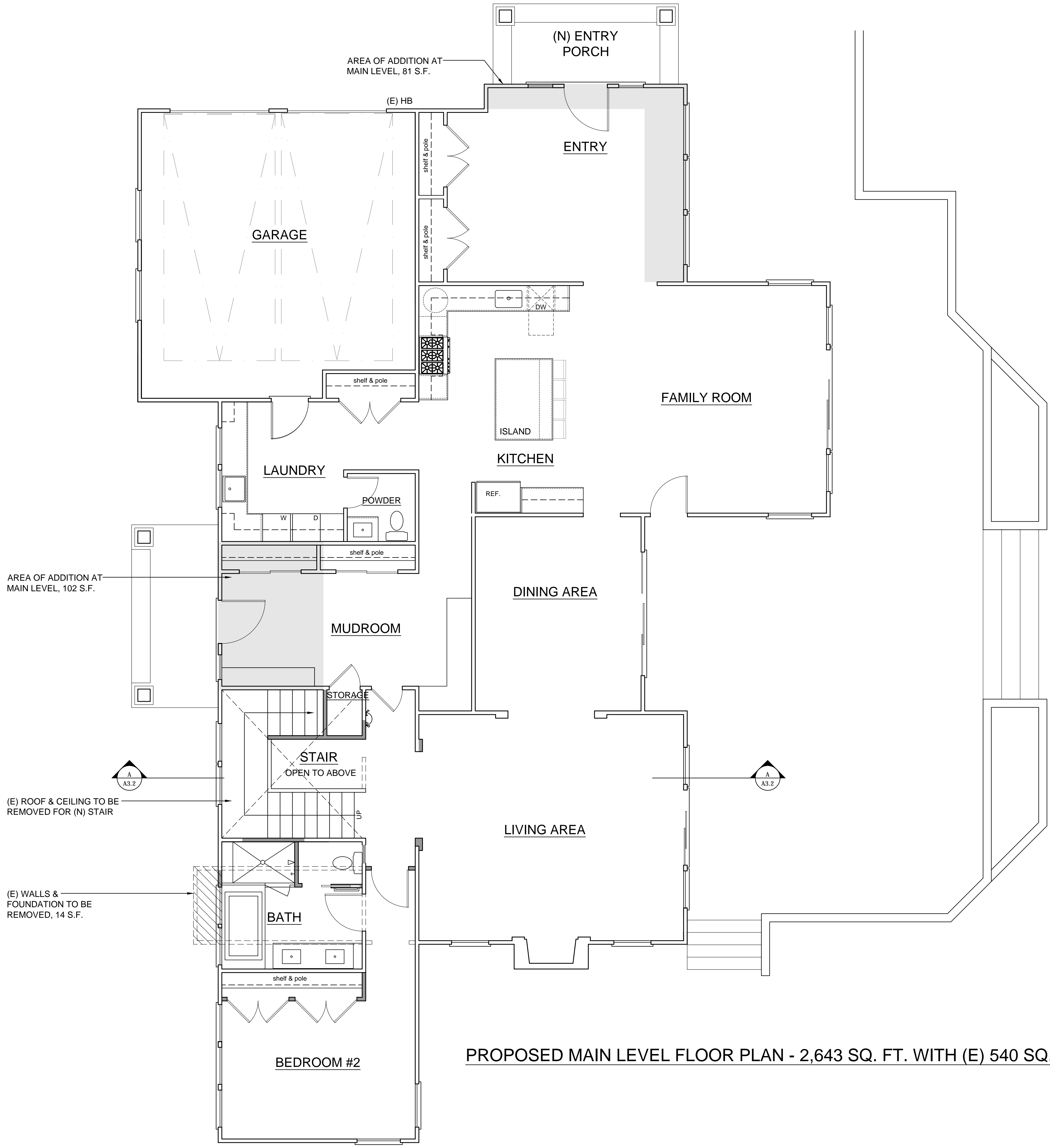
EXISTING ELEVATIONS NOTES

EXISTING ELEVATIONS

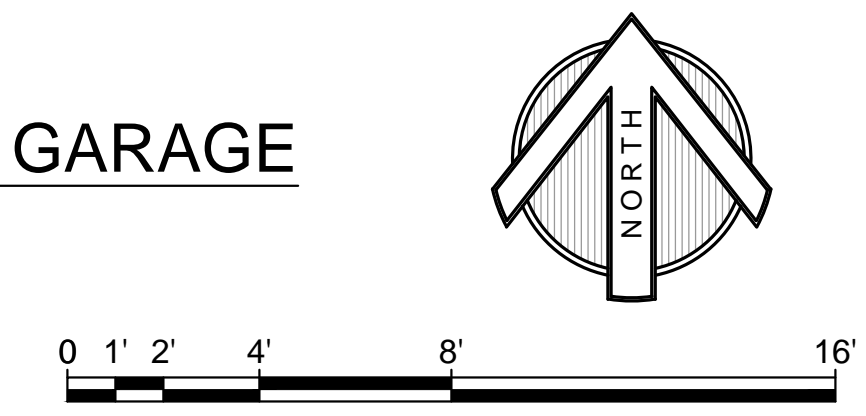


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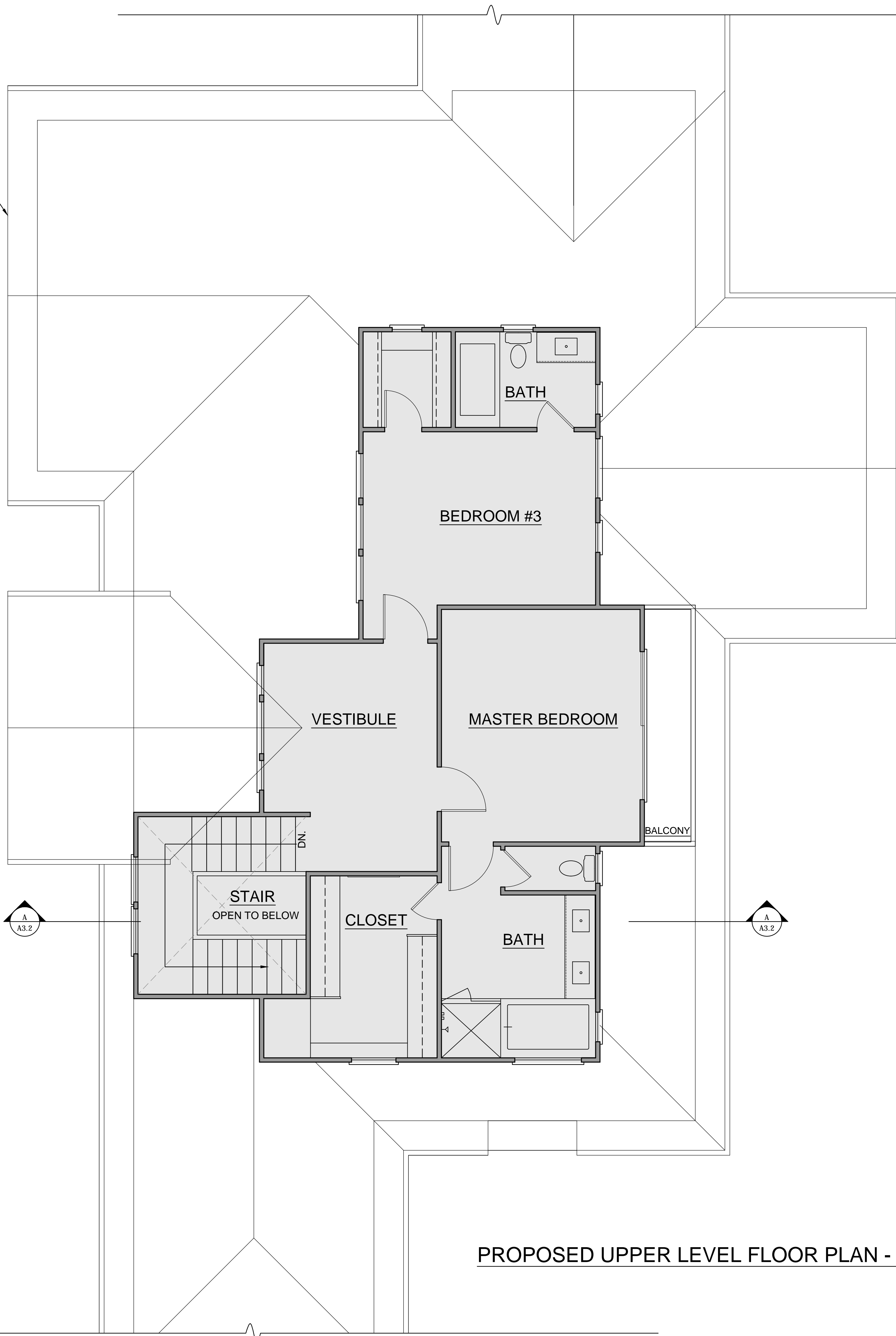
**PROPOSED MAIN LEVEL FLOOR PLAN - 2,643 SQ. FT. WITH (E) 540 SQ. FT. GARAGE**



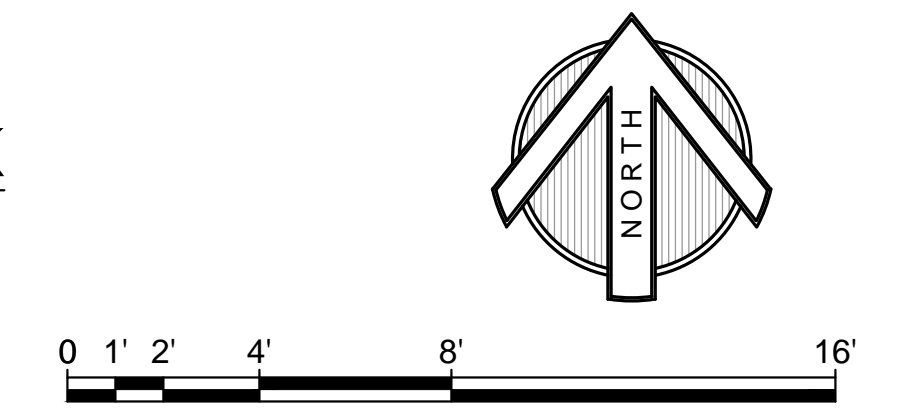
PROPOSED  
 MAIN LEVEL  
 FLOOR PLAN

1/4" = 1'-0"  
 PROPOSED  
 MAIN FLOOR PLAN

LINE OF  
ROOF BELOW



PROPOSED UPPER LEVEL FLOOR PLAN - 1,010 SQ. FT. / 56 S.F. DECK



ARCHITECT OF RECORD  
123 CENTRAL AVE.  
SAN RAFAEL, CA 94901  
(415) 123-4567

DOE RESIDENCE ADDITION  
101 MAIN STREET  
NOVATO, CA 94949  
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DATE ISSUE

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PROPOSED  
UPPER LEVEL  
FLOOR PLAN

1/4" = 1'-0"  
PROPOSED  
UPPER FLOOR PLAN

A2.2



**EXTERIOR MATERIALS & COLORS** (SEE ELEVATION NOTES THIS SHEET - ALL PAINT COLORS ARE BENJAMIN-MOORE)



1  
COMPOSITION ROOFING,  
GAF TIMBERLINE  
COLOR: "BARKWOOD"



3  
GUTTERS,  
INTEGRAL COLOR: "BROWN"



5  
MARVIN WINDOW CLAD FRAMES,  
COLOR: "WHITE"



7  
EL DORADO STONE  
BLUFFSTONE,  
COLOR: "LA PLATA"



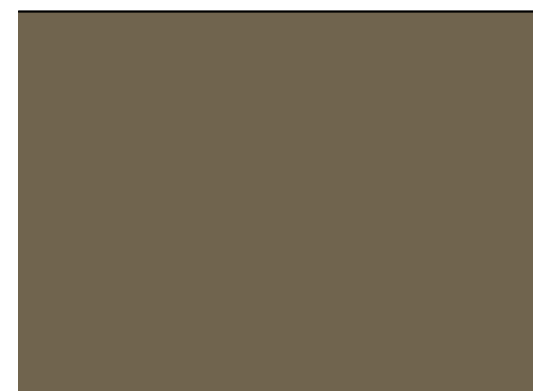
9  
KEYSTONE BLOCK  
RETAINING WALL,  
COLOR: "BUFF"



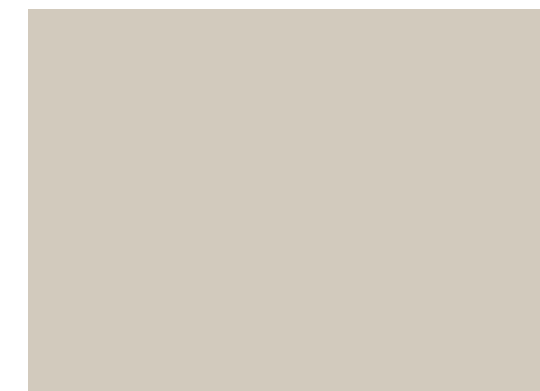
12  
EXTERIOR LIGHT FIXTURE  
THE GREAT OUTDOORS "KIRKHAM",  
10 WATT LED, COLOR: "ASPEN BRONZE"



2  
HARDIE LAP SIDING,  
INTEGRAL COLOR:  
"WOODSTOCK BROWN"



4  
FASCIA & BARGE BOARDS,  
COLOR: "IVY LEAGUE"



6  
WINDOW & DOOR TRIM,  
COLOR: "WARM GRAY"



8 10  
WOOD TRELLIS, GARAGE DOORS,  
& MISC. WOOD - CABOT STAINS,  
COLOR: "CORDOVAN BROWN"



11  
BELGARD "OLD WORLD"  
CLASSIC PERVIOUS PAVER,  
COLOR: "TOSCANA"



13  
EXTERIOR LIGHT FIXTURE AT  
RETAINING & STAIR WALL,  
BEGA RECESSED WALL LIGHT  
WITH SLOTTED FACEPLATE,  
5.6 WATT LED  
COLOR: "BRONZE"

**ELEVATION MATERIAL NOTES** #

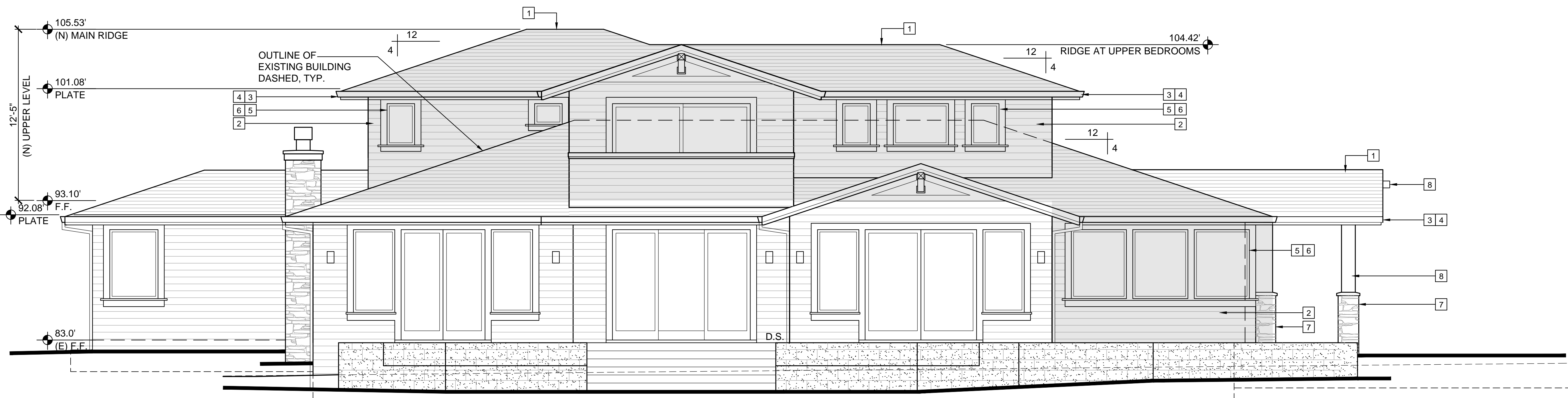
- CLASS "A" COMPOSITION SHINGLE ROOF - SEE COLOR SAMPLE THIS SHEET.
- EXTERIOR SIDING TO BE 6" SMOOTH HARDIE-LAP WITH INTEGRAL COLOR - SEE COLOR SAMPLE THIS SHEET.
- 5" PAINTED GALVANIZED IRON FASCIA GUTTERS - SEE COLOR SAMPLE THIS SHEET.
- 2x8 SMOOTH PRIMED CEDAR AT FASCIAS AND BARGE BOARDS - 2x10 BARGE BOARD AT MAIN ENTRY GABLE. BARGES TO HAVE 1"x3" PRIMED CEDAR TRIM - SEE COLOR SAMPLE THIS SHEET.
- WINDOWS - MARVIN ALUMINUM CLAD, DOUBLE GLAZED - SEE COLOR SAMPLE THIS SHEET.
- 2x4 DOOR AND WINDOW TRIM - SEE COLOR SAMPLE THIS SHEET.
- "LEDGERSTONE" VENEER STONE BASE UNDER 3" WATER TABLE - SEE COLOR SAMPLE THIS SHEET.
- HEAVY TIMBER OUTRIGGER - 6x6 WITH 6x6 KNEE BRACE BELOW - STAIN PER SAMPLE THIS SHEET.
- BLOCK RETAINING WALL, "KEYSTONE" - SEE COLOR SAMPLE THIS SHEET.
- OVERHEAD GARAGE DOOR, CARRIAGE STYLE - SEE COLOR SAMPLE THIS SHEET.
- PERVIOUS PAVER DRIVEWAY AND PATIO. FINISH PER COLOR SAMPLE THIS SHEET.
- TYPICAL EXTERIOR LIGHT FIXTURE AT HOUSE - SEE SAMPLE THIS SHEET.
- TYPICAL EXTERIOR LIGHT FIXTURE AT RETAINING AND STAIR WALL - SEE SAMPLE THIS SHEET.

ARCHITECT OF RECORD  
123 CENTRAL AVE.  
SAN RAFAEL, CA 94901  
(415) 123-4567

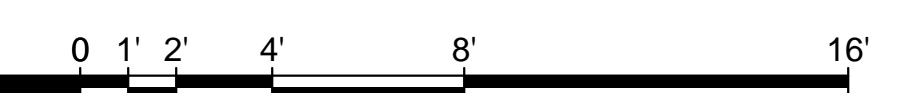
DOE RESIDENCE ADDITION  
101 MAIN STREET  
NOVATO, CA 94949  
APN: 123-456-78



WEST ELEVATION



EAST ELEVATION

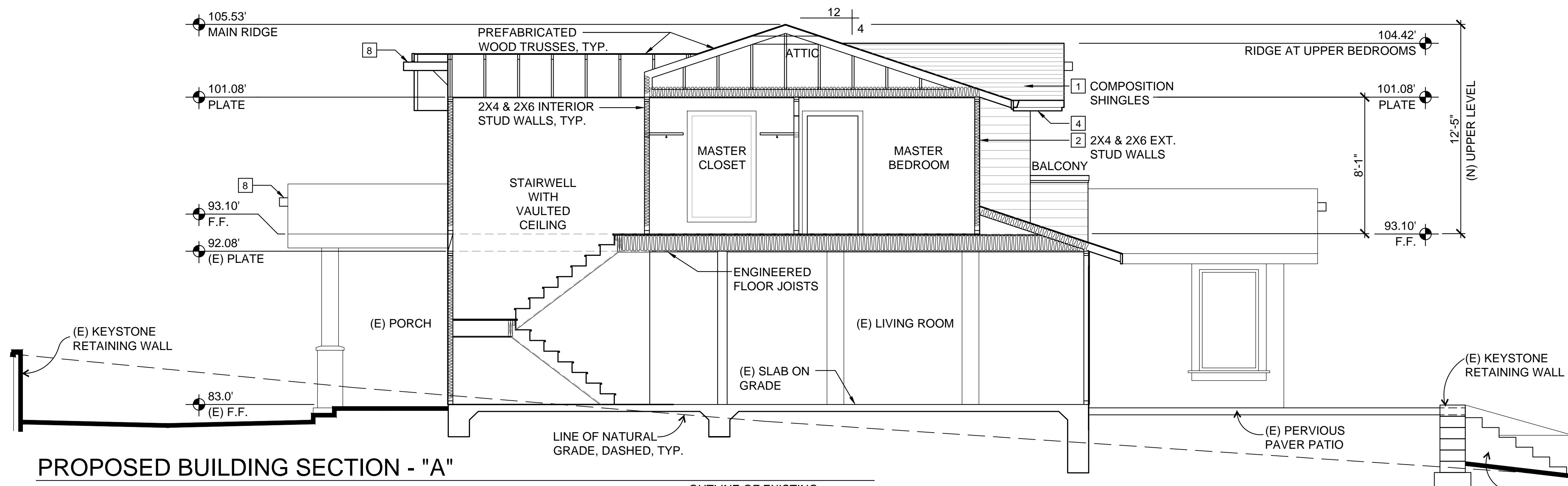


DRAWN BY SC  
CHECKED BY ABC  
PROJECT NO 4321  
DATE ISSUE

PROPOSED ELEVATIONS  
MATERIALS & COLORS  
NOTES

PROPOSED  
ELEVATIONS

A3.1

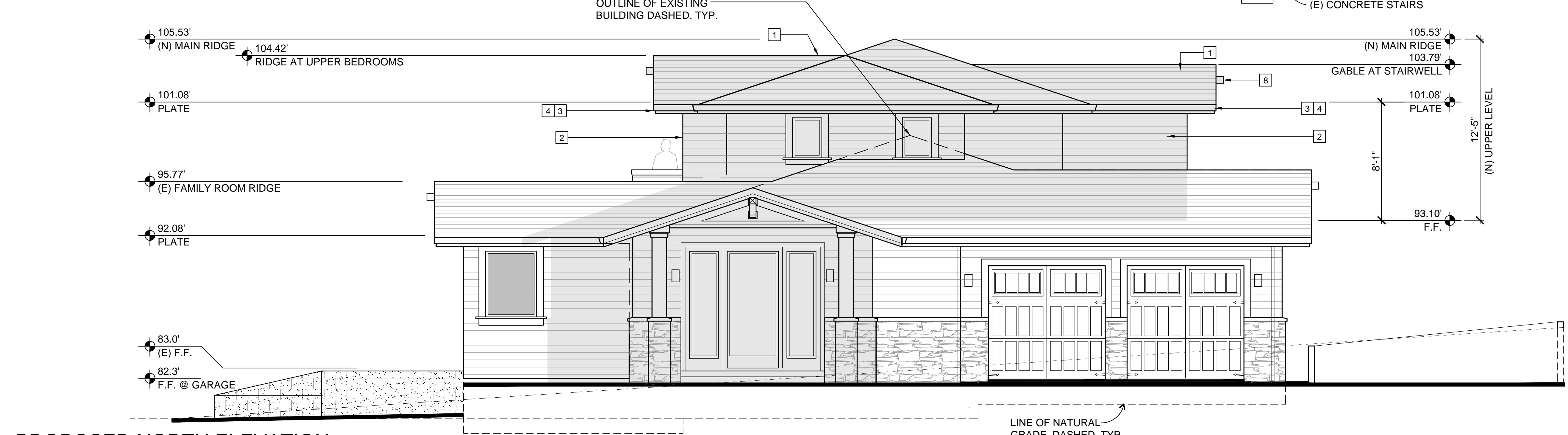


### ELEVATION MATERIAL NOTES

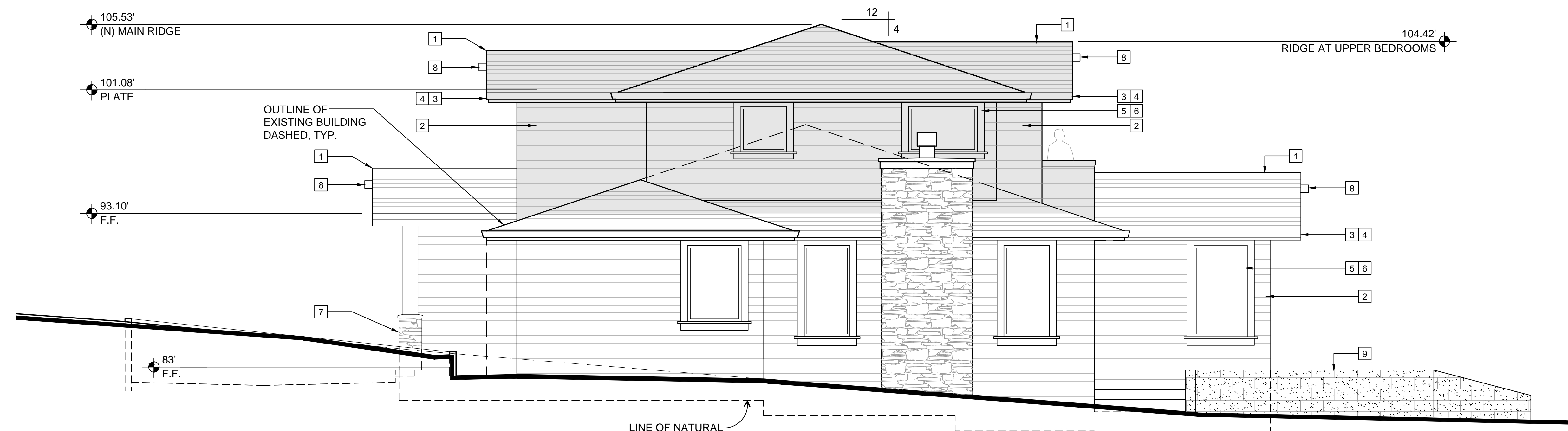
1. CLASS "A" COMPOSITION SHINGLE ROOF - SEE COLOR SAMPLE SHEET A3.1.
2. EXTERIOR SIDING TO BE 6" SMOOTH HARDIE-LAP WITH INTEGRAL COLOR - SEE COLOR SAMPLE SHEET A3.1.
3. 5" PAINTED GALVANIZED IRON FASCIA GUTTERS - SEE COLOR SAMPLE SHEET A3.1.
4. 2x8 SMOOTH PRIMED CEDAR AT FASCIAS AND BARGE BOARDS - 2x10 BARGE BOARD AT MAIN ENTRY GABLE. BARGES TO HAVE 1"x3" PRIMED CEDAR TRIM - SEE COLOR SAMPLE SHEET A3.1.
5. WINDOWS - MARVIN ALUMINUM CLAD, DOUBLE GLAZED - SEE COLOR SAMPLE SHEET A3.1.
6. 2x4 DOOR AND WINDOW TRIM - SEE COLOR SAMPLE SHEET A3.1.
7. "LEDGERSTONE" VENEER STONE BASE UNDER 3" WATER TABLE - SEE COLOR SAMPLE SHEET A3.1.
8. HEAVY TIMBER OUTRIGGER - 6x6 WITH 6x6 KNEE BRACE BELOW - STAIN PER SAMPLE SHEET A3.1.
9. BLOCK RETAINING WALL, "KEystone" - SEE COLOR SAMPLE SHEET A3.1.
10. OVERHEAD GARAGE DOOR, CARRIAGE STYLE - SEE COLOR SAMPLE SHEET A3.1.
11. PERVIOUS PAVER DRIVEWAY AND PATIO. FINISH PER COLOR SAMPLE SHEET A3.1.
12. TYPICAL EXTERIOR LIGHT FIXTURE AT HOUSE - SEE SAMPLE SHEET A3.1.
13. TYPICAL EXTERIOR LIGHT FIXTURE AT RETAINING AND STAIR WALL - SEE SAMPLE SHEET A3.1.

ARCHITECT OF RECORD  
 123 CENTRAL AVE.  
 SAN RAFAEL, CA 94901  
 (415) 123-4567

**DOE RESIDENCE ADDITION**  
 101 MAIN STREET  
 NOVATO, CA 94949  
 APN: 123-456-78



**PROPOSED NORTH ELEVATION**



**PROPOSED SOUTH (REAR) ELEVATION**



DRAWN BY SC  
 CHECKED BY ABC  
 PROJECT NO 4321  
 DATE ISSUE

PROPOSED ELEVATIONS  
 BLDG. SECTION  
 NOTES

1/4" = 1'-0"

PROPOSED  
 ELEV-SECTS

**A3.2**